

1. SITE CONTRACTOR TO LOCATE AND IDENTIFY EXISTING SERVICES ON LOT AND TO PROTECT SUCH DURING DAMAGE DURING BUILDING CONSTRUCTION.

2. FOUNDATIONS:

1.1 CONTRACTOR TO BUILD IN DIMENSIONS, WHETHER OR NOT SHOWN ON ANY DRAWING, TO ALL EXTERNAL WALLS AT EACH FLOOR, BEAM OR PARAPET LEVEL, AND TO ALL WINDOWS, DOOR GRILLES OR SILL CASINGS IN EXTERIOR WALLS. TOP OF FINISH IS TO BE A MIN. 150mm ABOVE FINISHED EXTERNAL LEVELS. STEPPED LEVELS AND CAVITY WALLS ARE TO HAVE STEPPED OR VERTICAL DPC'S RESPECTIVELY.

2. FOUNDATIONS:

2.1 ALL FOUNDATIONS, FOUNDATION WALLS, STRUCTURAL CONCRETE WORK AND SUB-SOIL STORMWATER DRAINAGE TO CIVIL ENGINEERING SPECIFICATIONS.

2.2 ALL SOIL COMPACTION TO CIVIL ENG'G SPECIFICATIONS.

2.3 150mm CONCRETE FOUNDATIONS FOR 230mm THICK BRICK WALLS.

2.4 300x150mm PAD FOUNDATIONS FOR 400x400mm BRICK WALLS.

2.5 ALL FOUNDATIONS TO BE RE-INFORCED AS REQUIRED BY ENGINEER.

3. FLOORS:

3.1 25mm CEMENT SCREED TO ALL FLOORS.

4. WALLS:

4.1 AS PER PLANS

4.2 BRICKWORK FOR EVERY 4 COURSES AND EVERY COURSE FOR 4 COURSES TO BE BUILT WITH GLUED GLAZED BRICKWORK FOR OPENINGS.

4.3 ALL BRICKWORK MINIMUM 7 MPa CLASS B

4.4 WINDOWS BLIND IN WITH GLUED GLAZED BRICKWORK PER PLAN.

4.5 ALL PAINTWORK TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS WITH NECESSARY UNDERCOATS.

5. ROOF:

5.1 AS PER NOTES ON PLAN

5.2 ALL EXISTING AND NEW ROOF SPACES TO BE INSULATED WITH 'ISOTHERM' 50-100mm IN THICKNESS OR SIMILAR.

6. WINDOWS AND DOORS:

6.1 ALL WINDOWS AND DOORS: AS PER SCHEDULE

6.1.1 ANY FRAME OF GLASS WHICH IS TO BE INSTALLED WITHOUT A SUPPORT FRAME SHALL BE IN ACCORDANCE WITH SABS 0137.

6.1.2 THE POSITION OF PANELS IN RELATION TO THEIR AREA SHALL BE IN ACCORDANCE WITH SABS 0137.

6.3 INTERNAL DOORS: STANDARD TIMBER FRAMES TO SCHEDULE.

6.4 DOORS: TIMBER DOOR FRAMES TO CLIENT SPECS.

7. DRAINAGE NOTES:

7.1 ALL SEWER PIPES: PIPES TO BE Laid WITH A MIN. FALL OF 1:60 TO CONDUIT TO EXISTING SEWER SYSTEM

7.2 100 DIA. OVP AT HEAD OF DRAIN PIPE AS INDICATED.

7.3 ALL DRAINING EYES AT HEAD OF DRAIN AT ALL CHANGES OF DIRECTION AND @ MAX. OF 2500M INTERVALS.

7.4 ALL DRAINAGE EYES AT HEAD OF DRAIN AND TO BE MARKED CROSSES @ GROUND LEVEL, TO BE ACCESSIBLE.

7.5 DRAIN PIPE UNDER BUILDING TO BE PROTECTED FROM LOAD.

7.6 100mm WASTE PIPE TO HAVE 65mm RE-SEAL TRAPS, ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR CLEANING AND REPAIR.

7.7 ALL WASTE PIPES UNDER FLOOR SLAB TO BE SLEEVED.

7.8 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE A MIN. OF 2400 TO TOP OF GULLY.

7.9 RAINWATER DOWNPIPES TO DISCHARGE A MIN. OF 2400 FROM TOP OF GULLY.

7.10 ALL DRAINAGE WORK TO BE CARRIED OUT IN ACCORDANCE WITH ALL LOCAL AUTHORITY DRAINAGE BY-LAWS AND REGULATIONS.

7.11 ALL SEWER PIPES TO HAVE 100mm RE-SEAL TRAPS, ALL WASTE PIPE VENTILATES 400mm DIA PIPE TO 500mm BRANCH.

8. HEALTH NOTES:

8.1 ADEQUATE DUST AND NOISE CONTROL MEASURES TO BE TAKEN DURING CONSTRUCTION.

8.2 CHEMICAL TOILETS TO BE PROVIDED FOR DURING CONSTRUCTION.

8.3 BUILDING RUBBLE TO BE TAKEN TO AN APPROVED DUMPING SITE.

8.4 THE MAKING OF OPEN FIRES AND THE BURNING OF REFUSE WILL NOT BE PERMITTED.

9. GEYSERS

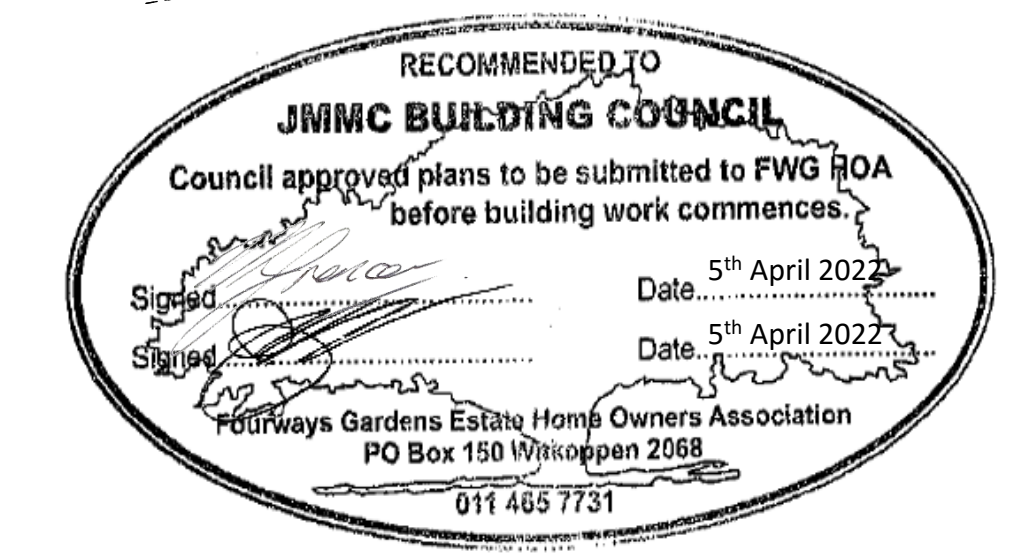
9.1 ALL EXISTING AND NEW GEYSER SYSTEMS TO BE ADEQUATELY INSULATED OR SOLAR GEYSER SYSTEMS TO BE INSTALLED

10. LIGHTING

10.1 ALL LIGHTING TO BE LOW WATTAGE CFL GLOBES

10.2 ALL SECURITY LIGHTING TO BE EITHER ON A MOTION DETECTOR OR DAY/NIGHT SWITCH

Owner: _____		THIS DRAWING IS THE COPYRIGHT OF THE ARCHITECT / DESIGNER	
Designer: _____			
Stand 1742 Fourways Ext. 18 (2 Ebony Place, Building Classification: H4 - Residential Dwelling)			
			
CK 2004/1232123		SACAP 00309 (Pr Arch Drawings)	
		SAAT 71365 (Member)	
residence DET			
Ground Storey			
Date:	Drawn by:	Scale:	
22.04.2021	DR	1 : 50	
Sheet:	A101 (1 of 4)	Project No.:	Rev:
		21-011	1



1. The building plans are approved by the Fourways Gardens Homeowners Association;
2. The approval does not release the owner of the obligation to obtain consent from the Johannesburg Metropolitan Municipality Council Local Authority;
3. The approval is given in terms of the aesthetic guidelines of Fourways Gardens Homeowners Association and does not imply scrutiny or compliance with Building Regulations, NHBRC or Good Building Practice;
4. It is the sole responsibility of the owner to ensure that his builder builds in accordance with these approved plans to lodge any deviations for re-approval first with the Homeowners Association and then the local authority.

Sheet List		
Sheet Number	Sheet Name	Current Revision Date
A1011 (1-4)	Ground Story	22/04/2021
A1012 (1-4)	First Storey	22/04/2021
A1013 (1-4)	Second Storey	22/04/2021
A1014 (1-4)	Roof and Roof Plans	22/04/2021
A1014 (1-4)	Sections	22/04/2021